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Jane Carmichael Rec Fees: \$210.00
D&B OR Vol 991 Pgs 3968 - 3990

PART OF LOT 8644
THE VILLAGES OF WETHERINGTON
PLAT VOL. 25; PG. 113
CITY OF WOOSTER
WAYNE COUNTY, OHIO

John Rife, PE
City of Wooster, Engineer

Wince Marion
City of Wooster, Planning

Steve Applegate
Wooster County Map Office

Steve Smith
Wooster County Auditor

Teresa Smith

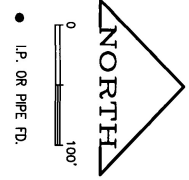
THE WOODS AT THE VILLAGES OF WETHERINGTON CONDOMINIUMS

44-357
SHEET 246

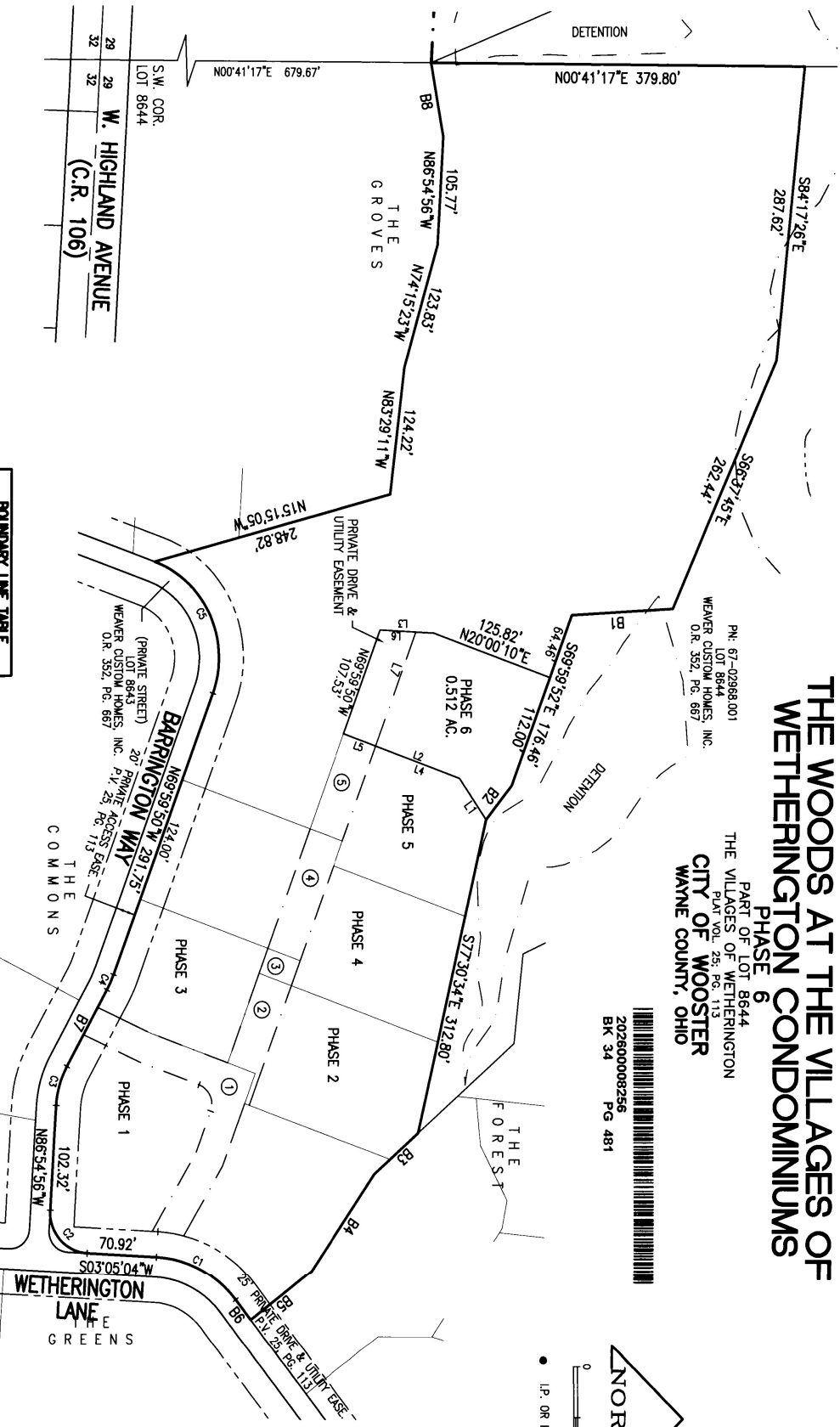
PHASE 6
PART OF LOT 8644
THE VILLAGES OF WETHERINGTON
PLAT VOL. 25, PG. 113
CITY OF WOOSTER
WAYNE COUNTY, OHIO

PN: 67-02968.001
LOT 8644
WEAVER CUSTOM HOMES, INC.
O.R. 352, PG. 667

202600008256
BK 34 PG 481



- PRIVATE DRIVE & UTILITY EASE.
- ① O.R. 937, PG. 2033-2093
 - ② O.R. 950, PG. 1153-1165
 - ③ O.R. 955, PG. 210-224
 - ④ O.R. 964, PG. 4515-4532
 - ⑤ O.R. 971, PG. 3412-3428



WOODS 9.715 AC.
- PHASE 1 1.365 AC.
- PHASE 2 0.547 AC.
- PHASE 3 0.398 AC.
- PHASE 4 0.928 AC.
- PHASE 5 0.452 AC.
- PHASE 6 0.512 AC.
RESIDUE 5.513 AC.

PROPERTY LINE CURVE TABLE			
NO.	ARC.	RADIUS	BEARINGS
C1	94.26'	110.00'	49°05'34"
C2	62.83'	40.00'	97°00'00"
C3	39.92'	90.00'	25°25'00"
C4	16.32'	110.00'	08°29'54"
C5	157.08'	100.00'	97°00'00"

BOUNDARY LINE TABLE			
NO.	BEARINGS	DIST.	
B1	S03°27'29"E	102.86'	
B2	S51°59'33"E	42.06'	
B3	S42°04'25"E	60.24'	
B4	S56°23'03"E	114.24'	
B5	S37°49'02"E	78.73'	
B6	S52°10'56"W	25.00'	
B7	N61°29'56"W	84.89'	
B8	S90°16'36"W	73.26'	

PHASE 6 LINE TABLE			
NO.	BEARINGS	DIST.	
L1	S55°52'45"W	48.50'	
L2	S20°00'10"W	126.28'	
L3	N03°05'04"E	55.14'	
L4	S20°00'10"W	91.28'	
L5	S20°00'10"W	35.00'	
L6	N03°05'04"E	36.88'	
L7	S59°59'50"E	118.18'	

SHAFFER, JOHNSTON, LICHTENWALTER & ASSOCIATES, INC.
Consulting Engineers & Surveyors
3477 Commerce Parkway, Suite C
Wooster, Ohio 44691
TEL (330) 346-6377 FAX (330) 345-6725 EMAIL sjl@sjl-inc.com

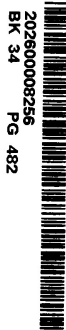
ONE JOB: EW-2074B-GG

PLANNED BY:	C. FRIED
DATE:	02/03/2005
SCALE:	1" = 100'
SHEET:	2 OF 3

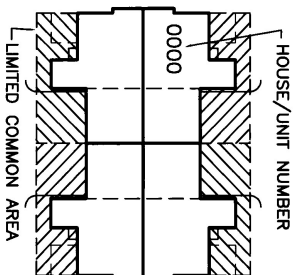
THE WOODS AT THE VILLAGES OF WETHERINGTON CONDOMINIUMS

PHASE 6

PART OF LOT 8644
THE VILLAGES OF WETHERINGTON
PLAT VOL. 25, PG. 113
CITY OF WOOSTER
WAYNE COUNTY, OHIO

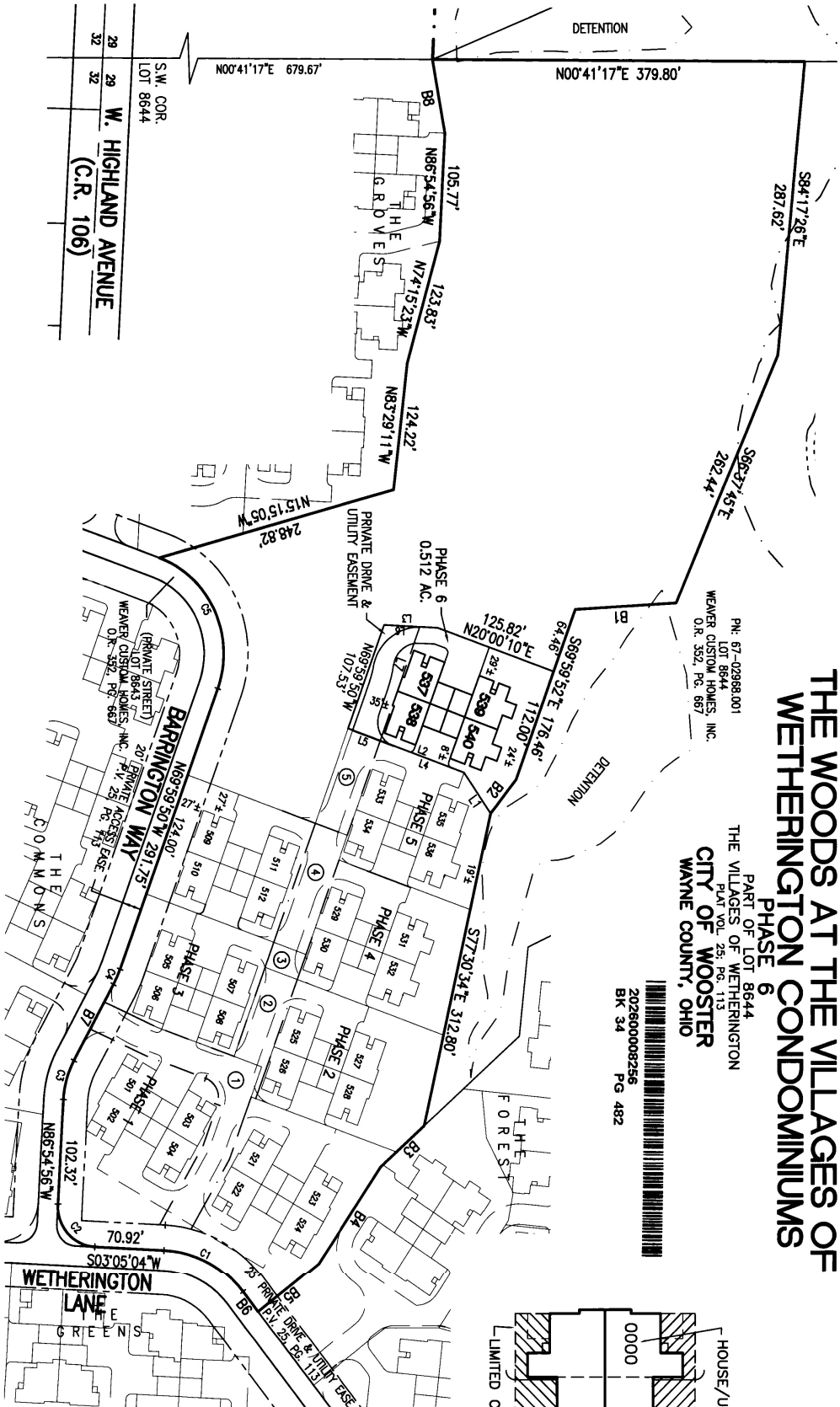


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BK 34 PG 482



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 - RESIDUE 5.513 AC.



W. HIGHLAND AVENUE
(C.R. 106)

LEGEND

UNIT	PLAN	LMNG	BASEMT	GARAGE	3 SEASON	CON. STOOP	TOTALS
537	Windsor Basement w/Sunroom	1401 SF.	1401 SF.	437 SF.	---	23 SF.	3262 SF.
538	Easton Basement w/Sunroom	1401 SF.	1401 SF.	437 SF.	---	23 SF.	3262 SF.
539	Easton Basement w/Sunroom	1401 SF.	1401 SF.	437 SF.	---	23 SF.	3430 SF.
540	Easton Basement w/Sunroom	1401 SF.	1401 SF.	437 SF.	---	23 SF.	3430 SF.



• I.P. OR PIPE TD.



SHAFER, JOHNSTON, LICHTENWALTER
& ASSOCIATES, INC.
Consulting Engineers & Surveyors
3477 Commerce Parkway, Suite C
Wooster, Ohio 44691
TEL (330) 345-6377 FAX (330) 345-6725 EMAIL sjl@sjl-inc.com

DWG NO. EW-20748B-GG

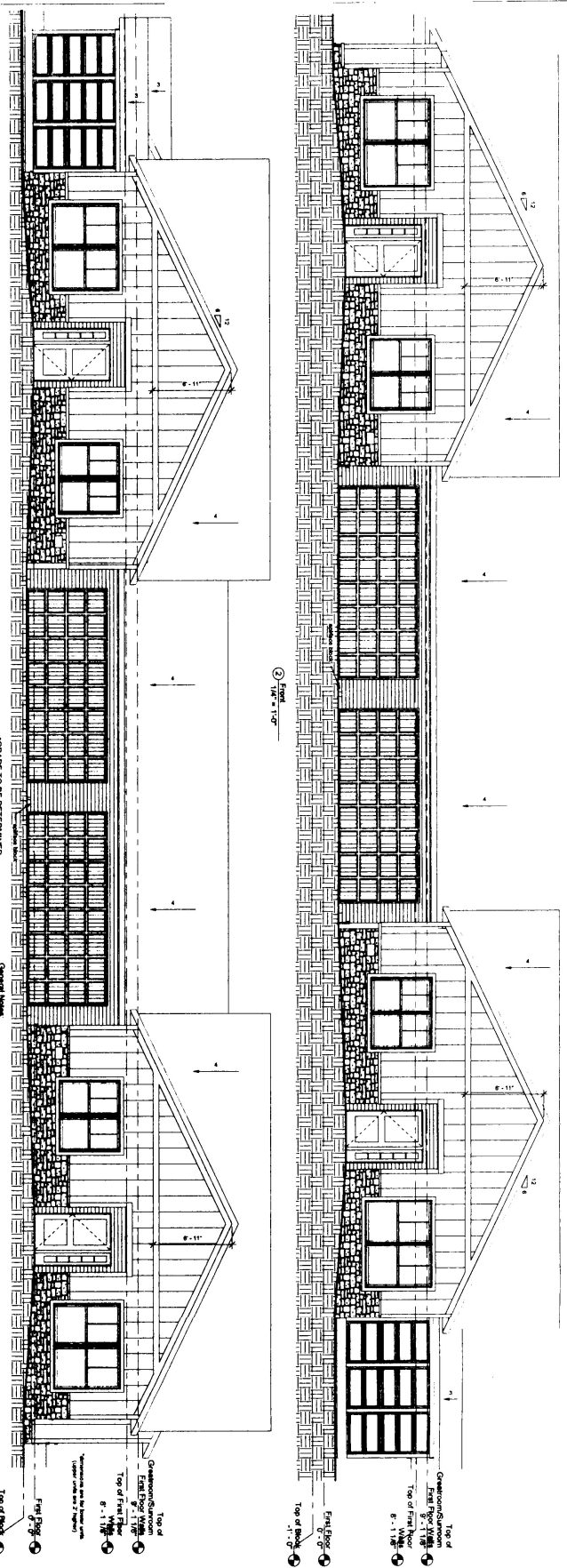
DRAWN: C. RAIB

DATE: 02/03/2008

SCALE: 1" = 100'

SHEET: 3 OF 3

FINAL ELEVATIONS TO BE DETERMINED AT SITE



1. All elevations in this section are to the 2017 Ohio Building Code (OBC) OBC 310.5, Chapters 2 to 10 and 44 of the OBC are permitted to be used in place of the OBC for the group R-3. The minimum use of exterior walls shall be as follows:

2. All elevations shall be in accordance with the minimum required finish.

3. All elevations shall be in accordance with the minimum required finish.

4. All elevations shall be in accordance with the minimum required finish.

5. All elevations shall be in accordance with the minimum required finish.

6. All elevations shall be in accordance with the minimum required finish.

7. All elevations shall be in accordance with the minimum required finish.

8. All elevations shall be in accordance with the minimum required finish.

9. All elevations shall be in accordance with the minimum required finish.

10. All elevations shall be in accordance with the minimum required finish.

11. All elevations shall be in accordance with the minimum required finish.

12. All elevations shall be in accordance with the minimum required finish.

13. All elevations shall be in accordance with the minimum required finish.

14. All elevations shall be in accordance with the minimum required finish.

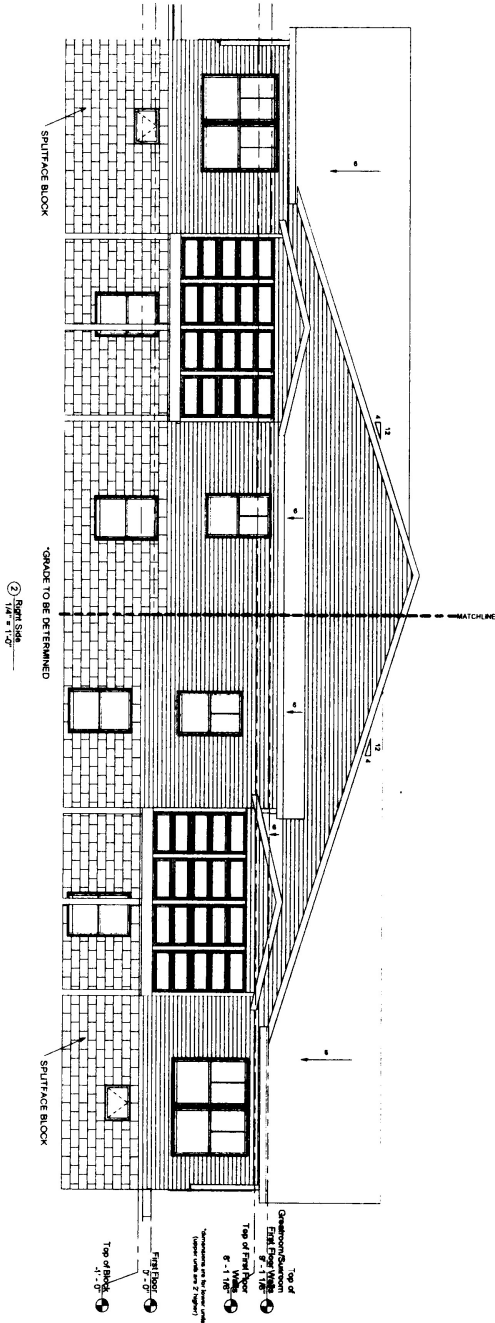
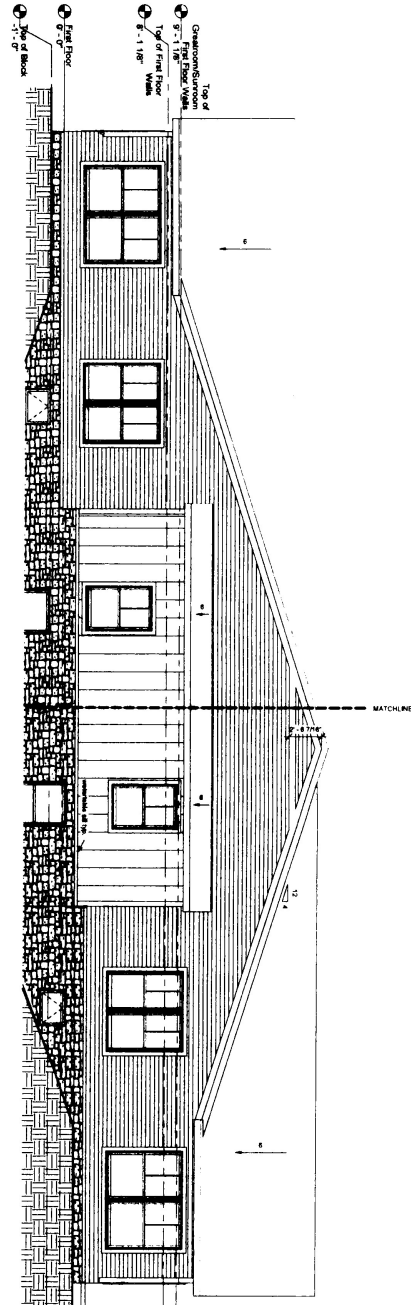
15. All elevations shall be in accordance with the minimum required finish.

Table with 2 columns: Material, Finish. Rows include: Masonry, Plaster, Drywall, etc.

- 1) All elevations in this section are to the 2017 Ohio Building Code (OBC) OBC 310.5, Chapters 2 to 10 and 44 of the OBC are permitted to be used in place of the OBC for the group R-3. The minimum use of exterior walls shall be as follows:
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- 11) All elevations shall be in accordance with the minimum required finish.
- 12) All elevations shall be in accordance with the minimum required finish.
- 13) All elevations shall be in accordance with the minimum required finish.
- 14) All elevations shall be in accordance with the minimum required finish.
- 15) All elevations shall be in accordance with the minimum required finish.



202600008256
BK 34 PG 484



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A1.2

SHEET

Side Elevation

NOTED

REVISIONS

DATE

BY

REVIEW

DATE

BY

REVISIONS

DATE

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REVISIONS

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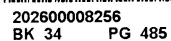
REVISIONS

DATE

BY

REVISIONS

DATE



4 UNIT CONDO #39
THE WOODS
WOOSTER OHIO

124 EAST LIBERTY ST
WOOSTER, OH 44691
PH 330-264-5444

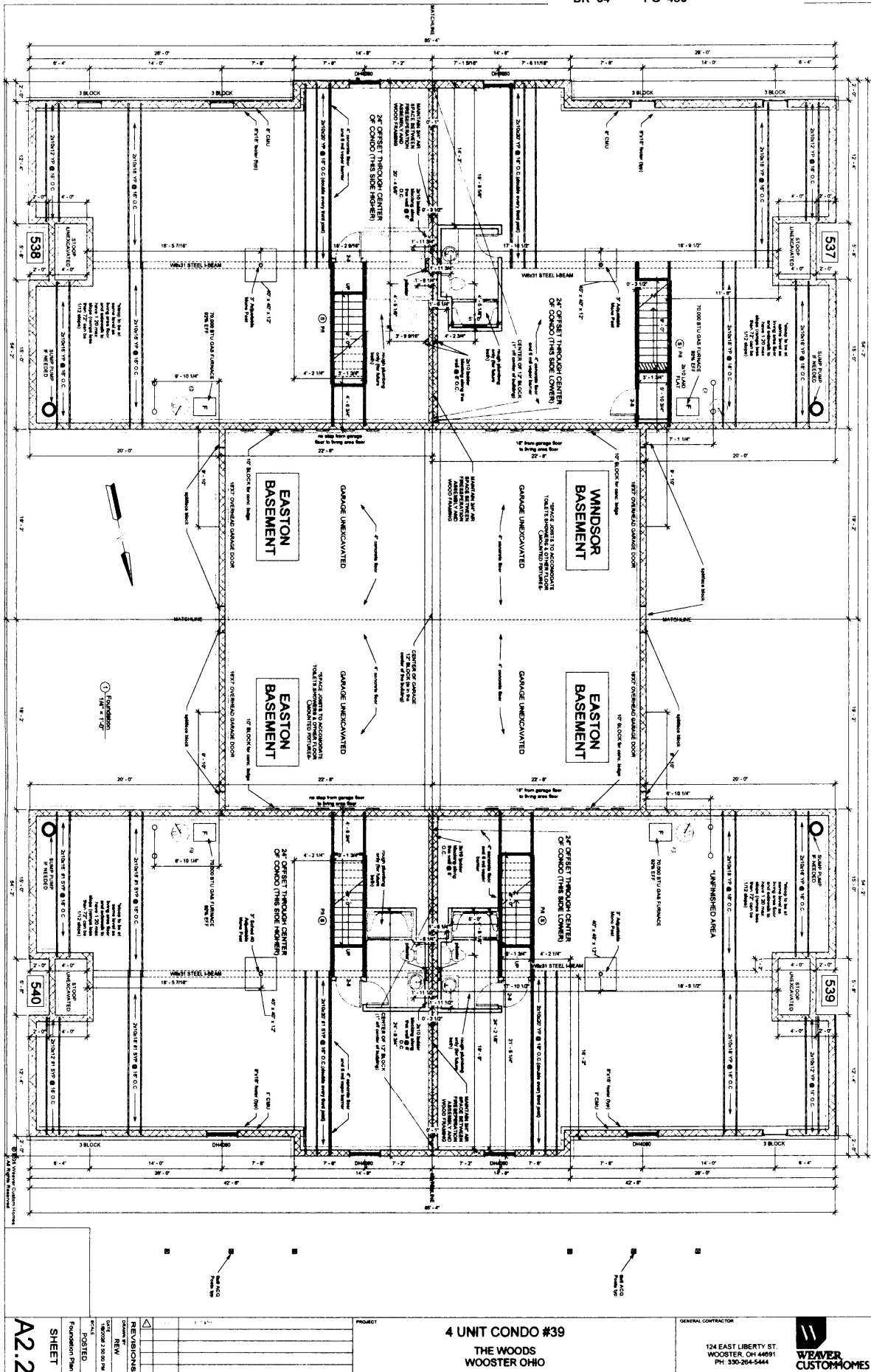


WEAVER
CUSTOM HOMES

DATE	1/16/2026 2:49:59 PM
MOBILE	
POSTED	



202600008256
BK 34 PG 486



A2.2

SHEET

FOUNDATION PLAN

DATE: 10/20/2010

DESIGNED BY: NEW

REVISIONS

PROJECT

4 UNIT CONDO #39
THE WOODS
WOOSTER OHIO

GENERAL CONTRACTOR

124 EAST LIBERTY ST.
WOOSTER, OH 44691
PH: 330-264-5444

